



Jonathan Cartwright

Master Inspector-lic #0962-M
Principal Pest Inspector-lic #500060

775-287-1932 (mobile)
775-323-1117 (office)

Grushinspections.com
jonathan@grushinspections.com

Key Feb -

A = Away
S = stay
O = OFF

T = Todd Feirchild (AMT services)
P = Bucks Plumbing
M = Mike at Ash Mechanical

Invoice

Date	Invoice #
3/20/2018	3291

Bill To
Katherine Arriaga

Client
Katherine Arriaga

Close of Escrow Date	Escrow Account #
3/16/2018	

Service	Inspection Address	Inspector	Amount
Pre-Sale Home Inspec...	180 Wellington Way, Reno, NV 89506	Jonathan Cartwright	300.00

PD
3-29-18

Total	\$300.00
Payments/Credits	\$0.00
Balance Due	\$300.00

Phone #	Fax #
775-323-1117	775-323-8117

**THANK YOU
FOR YOUR
BUSINESS**

Total due upon receipt or if billed thru escrow, at close or cancellation of escrow.



**GRUSH
INSPECTIONS**

**PAID
05/05/2018**

35 Keystone Avenue, Suite D, Reno NV, 89503
775-323-1117, www.grushinspections.com

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85 Keystone Ave Suite D Reno NV 89503
Tel: 775-323-1117 Fax: 775-323-8117 Mobile: 775-287-1932
grushinspections.com jonathan@grushinspections.com

CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:

Katherine Arriaga

INSPECTION ADDRESS

180 Wellington Way, Reno, NV 89506

INSPECTION DATE

3/20/2018 9:00 am



This report is the exclusive property of Grush Inspections, LLC and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

THIS SECTION TO BE FILLED IN BY APPLICANT

CONTROL NO. 150611

WORK DESCRIPTION

NEW STRUCTURE OR ADDITION

MFR. SUP. VAR. _____

Use Change _____

Stories _____ Height _____ Area _____ SF

NEW SIGN OR RENOVATION

Sign Face Used _____ Thickness _____

Electric Power New Existing

(Show location on plans)

DESCRIBE WORK TO BE DONE:

X ROOF

APPLICATION FOR PERMIT(S)

- New Structure Addition, Alteration, Repair, Demolition
- New Sign Renovation

Job Address 180 Wellington Way

Lot _____ Block _____ Subdivision _____

Purch No. 0P2-353-02 Zoning _____

Occupancy SFR Type _____ Group _____

X Dwelling Units 1 Sprinklers Yes No

Fuel Tank Capacity _____ Gals. (Notify Fire Department)

Valuation 800

X Owner/Lessee JESUS ARRAGA

X Address 180 Wellington Way

X Applicant's Signature Jesus Arraga

X Phone 972-6684

For Office Use Only

Rec. No. _____ Plan Rev. Fee \$ 14.50

Building Permit Fee \$ 14.50

Fixture Units _____ Fee \$ _____

Park District _____ Fee \$ _____

Total \$ 14.50

I hereby agree to save, indemnify and keep harmless the City of Reno, and its officers, employees, and agents against all liabilities, judgments, costs and expenses which may in anywise accrue against the City of Reno in consequence of the use of the above premises from the use or occupancy at any public way by virtue thereof.

By Jesus Arraga Builder Signature 09-18-07

BUILDING PERMIT

Date Issued 9/18 1907

Permission is hereby granted to execute the work described in this application in accordance with the Rules, Regulations and Ordinances of the City of Reno.

Samuel Blay

BUILDING & SAFETY DEPARTMENT

PLEASE DO NOT WRITE IN THIS SECTION

When properly validated, this document constitutes a building permit. It has specific time limitations. Refer to the adopted edition of Uniform Building Code and "Administrative procedures for Sewer Allocation."

APPLICATION FOR PLUMBING PERMIT		FEES
Closets	Gas Appl.	
Bath Tub	Floor Drain	
Showers	Floor Sink	
Laundry/s	Reel Drains	
Urinal	Water Heater	
Sink	Sewer	
Dishwasher	Water Dist	
Wash Machine	W/O	
Disposal	H B	
Sept. Sink	Spunkler System	
Drinking Fountain	Swim Pools, Spas	
Gas Piping	Permit	
TOTAL \$		

APPLICATION FOR MECHANICAL PERMIT

MECHANICAL		FEES
Permit		
Furnace	BTU	
Boiler/Compressor	BTU	HP
Air Handling Units	CFM	
Evaporative Coolers		
Vent Fans - Single Duct		
Local Fans		
Exhaust Hoods		
Other		
SOLAR:		
Permit		
Collectors	Sq. Ft.	
Storage Tanks	Gals.	
Rock Storage	Cu Ft.	
Other		
TOTAL \$		

APPLICATION FOR ELECTRIC PERMIT

APPLICATION FOR ELECTRIC PERMIT		FEES
New Construction		
Service Change		
Swim Pools, Spas, Hot Tubs		
Power Pole (PP/Portable Home)		
Fire Alarm (NO. Outlets)		
Permit		
TOTAL \$		

CONTRACTORS

OWNER
BUILDER

RENO LIC. _____ NEV LIC. _____
ADDRESS _____ PHONE _____

ELECTRICAL CONTRACTOR _____ RENOV. LIC. _____ NEV LIC. _____

PLUMBING CONTRACTOR _____ RENOV. LIC. _____ NEV LIC. _____

HEATING CONTRACTOR _____ RENOV. LIC. _____ NEV LIC. _____

White Copy - Office Record

PLEASE
DO NOT
WRITE
IN THIS SECTION

THIS SECTION TO BE FILLED IN BY APPLICANT

CONTROL NO.

PERMIT NO.

VENTILATION

PROJECT PLAN CONTROL # 917-8

The following are requirements of the Reno Fire Department, Bureau of Fire Prevention, 200 Evans Avenue, Reno, Nevada. 785-2323 - Call for additional information. The requirements listed below checked in red must be fully completed prior to a final C of O.

- Provide fire extinguishers per Reno Fire Department specifications - maximum travel seventy-five (75) feet (kitchens require a 40 BC).
- Provide emergency lighting throughout.
- Provide fire hydrants on-site per Reno Fire Department specifications. Contact Hydrant Inspector at 785-2342.
- All access roads shall comply with Reno Fire Department requirements in accordance with Uniform Fire Code, Sections 10.207 and 10.301.
- Provide an electrical shutdown or shunt outside of the building - location to be approved by Reno Fire Department.
- Paint and post (sign) all emergency fire access lanes and hydrant areas.
- All interior finishes to comply with Chapter 42, Uniform Building Code.
- Post occupant load.
- All elevator operation must comply with Article 51, Uniform Building Code.
- ~~Box~~ Box required - obtain order form from Reno Fire Department.
- ~~Box~~ *Box* ~~link~~ link shall be 100 F over ambient.
- ~~All~~ All cooking shall comply with N.F.P.A. 96 - Submit plans and obtain permits.
- ~~Hood~~ Hood, duct, and duct shaft enclosure shall be inspected prior to installation.
- ~~Conduct~~ Conduct "puff test" on kitchen hood system. (24 hr. notice)
- Provide a fully automatic fire detection system - Submit plans to obtain permits.
- Provide a maintenance and monitoring agreement on alarm system.
- Provide a fully automatic sprinkler system - Submit plans and obtain permits.

RENO FIRE DEPARTMENT
BUREAU OF FIRE PREVENTION
200 EVANS AVENUE
RENO, NEVADA 89501



Permits Pending

18

RENO FIRE DEPARTMENT
BUREAU OF FIRE PREVENTION
200 EVANS AVENUE
RENO, NEVADA 89501

THIS SECTION TO BE FILLED IN BY APPLICANT

CONTROL NO. 150611

PERMIT NO. 150611

APPLICATION FOR PERMIT(S)

- New Structure
- Addition, Alteration, Repair, Demolition
- New Sign
- Renovation

Job Address 180 Wellington Way

Block OP2-353-02 Subdivision Zoning

Occupancy SFR Type Group

Dwelling Units 1 Sprinklers Yes No

Fuel Tank Capacity 800 Gals. (Nolly Fire Department)

Valuation 800

Owner/Leasee JESUS ARRAGA

Address 180 Wellington Way

Applicant's Signature Jesus Arraga

Phone 972-66-84

For Officer Use Only

Plan Rev Fee \$ 14.50

Building Permit Fee \$ 14.50

Fee \$ 14.50

Total \$ 14.50

I hereby agree to save, indemnify and keep harmless the City of Reno, and its officers, employees, and agents against all liabilities, judgments, costs and expenses which may at any time accrue against the City of Reno from the date of the granting of this permit or from the date of occupancy of any public way by virtue thereof.

By Jesus Arraga (Signature) 9-18-87 (Date)
Builder Signature

BUILDING PERMIT
Date Issued 9/18 19 87

Permission is hereby granted to perform the work described in this application in accordance with the rules, regulations and ordinances of the City of Reno.

James W. Harty
BUILDING & SAFETY DEPARTMENT

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APPLICATION FOR PLUMBING PERMIT		FEES	
Closets	Gas Appl.		
Bath Tub	Floor Drain		
Showers	Floor-Sink		
Laundry	Roof-Drains		
Urinal	Water Heater		
Sink	Sewer		
Dishwasher	Water Dist.		
Wash Machine	W.O.		
Disposal	H.B.		
Stop Sink	Sprinkler System		
Drinking Fountain	Swim. Pools, Spas		
Gas Piping	Permit		
		TOTAL \$	

APPLICATION FOR MECHANICAL PERMIT		TOTAL \$	
MECHANICAL:			
Permit			
Furnace	BTU		
Boiler/Compt'g	BTU I/P		
Air Handling Units	CFM		
Evaporative Coolers			
Vent Fans - Single Duct			
Local Fans			
Exhaust Hoods			
Other			
SOLAR:			
Permit			
Collectors	Sq. Ft.		
Storage Tanks	Gals.		
Rock Storage	Cu. Ft.		
Other			
		TOTAL \$	

APPLICATION FOR ELECTRIC PERMIT		TOTAL \$	
ELECTRICAL:			
New Construction			
Service Change			
Swim. Pools, Spas, Hot Tubs			
Power Poles (TPP/Mobile Home)			
Fire Alarm (No. Outlets)			
Permit			
		TOTAL \$	

WORK DESCRIPTION

NEW STRUCTURE OR ADDITION

MPRSUP. VAR. _____

Use Change _____ Height _____ Area _____ SF _____

NEW SIGN OR RENOVATION

Sign Face Used _____ Thickness _____

Electric Power New Existing (Show location on plans)

DESCRIBE WORK TO BE DONE:

X ROOF

CONTRACTORS

Builder OWEN

ADDRESS _____ PHONE _____

ELECTRICAL CONTRACTOR _____ RENO LIC. _____ REV. LIC. _____

PLUMBING CONTRACTOR _____ RENO LIC. _____ REV. LIC. _____

HEATING CONTRACTOR _____ RENO LIC. _____ REV. LIC. _____

White Copy - Office Record

PLEASE
DO NOT
WRITE
IN THIS SECTION

GENERAL INFORMATION

Inspection Address: 180 Wellington Way, Reno, NV 89506
Inspection Date: 3/20/2018 Time: 9:00 am
Weather: Clear and Dry - Temperature at time of inspection: 30-40 Degrees

Inspected by: Jonathan Cartwright

Client Information: Katherine Arriaga
Structure Type: Wood Frame
Foundation Type: Raised Foundation
Furnished: Yes
Number of Stories: One

Structure Style: Single Family

Structure Orientation: North

Estimated Year Built: 1965
Unofficial Sq.Ft.: 1674

People on Site At Time of Inspection: Seller(s)

General Property Conditions

There were apparent remodels or revisions of the structure that may have required building permits, however review of the permit status or code compliance of these projects is outside the scope of this inspection. Consult the local building department for further information on permit and building code progress inspections.

This residence was occupied at the time of inspection and personal items throughout the interior prevented complete access for inspection, and additional faults may exist in areas that could not be effectively inspected.

Some ceiling finishes in this building may be asbestos containing. Identification of asbestos is outside the scope of our inspection and requires a qualified specialist.

This building contained an electronic security system that is outside the scope of this inspection and should be inspected and maintained by a qualified specialist.

PLEASE NOTE:

The service recommendations that we make in this report should be completed by licensed and qualified specialists, who may well identify additional defects or recommend needed upgrades. If this inspection is being conducted for the purposes of a sale, repairs and evaluations should be completed well before the close of escrow, as additional information may be acquired at that time that could affect your evaluation of the property.

Report File: 180 Wellington Way

SCOPE OF WORK

This structural inspection report is an overview of the condition of the major systems and components of the primary structure on the property. Comments in this report may include faults and deficiencies in the structure and its systems, as well as general comments about the type of construction and identification of building materials used in the structure. The scope of a standard structural inspection is limited:

- o Only visible and accessible areas of the structure are evaluated. No part of the structure will be modified or dismantled for inspection. Furniture, appliances, machines, window coverings, and personal belongings which may obstruct visible access are not moved for any inspection. Additional defects or faults may be located in areas not accessible for inspection.
- o Items that are cosmetic, imperfect, aged or blemished, but structurally and functionally sound, will not be identified as faults. No comments will be made regarding the quality of a particular component, unless the component is structurally damaged or insufficient, or not functioning properly.
- o Although faults identified in this report may correspond to building code violations, this inspection is not a building code inspection. Any questions or concerns related to the building code compliance of a component in this structure, whether original or upgraded, including additions and remodels, should be directed to the local building department.
- o This inspection does not include any evaluation or identification of environmental conditions or hazards, including air, water and soil quality, nor does it include inspection for mold in any form.
- o This report is in no way a warranty or guarantee of the future condition of this structure or its systems. The condition of many components and systems are subject to rapid change, so observations made in this report are only valid for the time that the inspection was performed.
- o The findings of this report should not be viewed as a substitute for a seller's disclosure, and there is no assurance that the findings of this report will include items disclosed by a seller. It is the obligation of the sellers, buyers and their agents to inform Grush Inspections, LLC of any known faults prior to the start of the structural inspection, and to perform their own complete and thorough walk-through inspection.
- o These findings represent the professional opinion of the inspector. This opinion is based on the inspector's experience, and should not be considered a statement of fact. While every effort is made to be as comprehensive as possible, the findings of this report may differ from the findings of other professionals, especially those of differing experience or specialties.

Any concerns regarding the limited scope of this inspection should be addressed with Grush Inspections, LLC before acceptance of this report. Signed acceptance of this report is required to acknowledge these findings and is considered to represent an understanding of this scope of work. The scope of structural inspections performed by Grush Inspections, LLC is based on standards established by the State of Nevada, and set forth in Nevada Administrative Code 645D and Nevada Revised Statutes 645D. Full text of these documents may be viewed at our offices, 85 Keystone Avenue Suite D, Reno, Nevada 89503, or online at <http://www.leg.state.nv.us/nac/nac-645d.html#NAC645Dsec480> or http://red.nv.gov/Content/Administration/Statutes_and_Regulations/

Inspection Address:
Inspection Date/Time:

180 Wellington Way, Reno, NV 89506
3/20/2018 9:00 am

Ventilation Systems

Inspection of ventilation systems includes operation and evaluation of any accessible ventilation fans in the interior of the interior of the structure, attic or crawlspace. Vapor barriers visible in unfinished areas will be described and evaluated.

General Ventilation Comments

Attic Ventilation

Information and Observations

Conditions of the accessible attic space indicated that the attic ventilation was adequate for current conditions. There were soffit, gable, and field vents observed.

Foundation Area Ventilation

Components and Conditions Needing Service

It is recommended that all foundation vents be unobstructed and opened to aid in keeping the crawlspace dry.

Bathroom Ventilation

Information and Observations

There was no exhaust fan in the master bathroom. There was discoloration on the ceiling surfaces and a fan should be considered for installation to help control moisture in this area.

Laundry Ventilation

Information and Observations

There was no exhaust fan in the laundry area. This should be considered for installation to help remove moisture from this area.

General Vapor Barrier Comments

Crawlspace Vapor Barriers

Components and Conditions Needing Service

Recommend that a visqueen moisture barrier be placed to completely cover all soils to help control moisture in the crawlspace area. Any cellulose or other debris should be removed from the crawlspace before placing the moisture barrier.



Insulation Systems

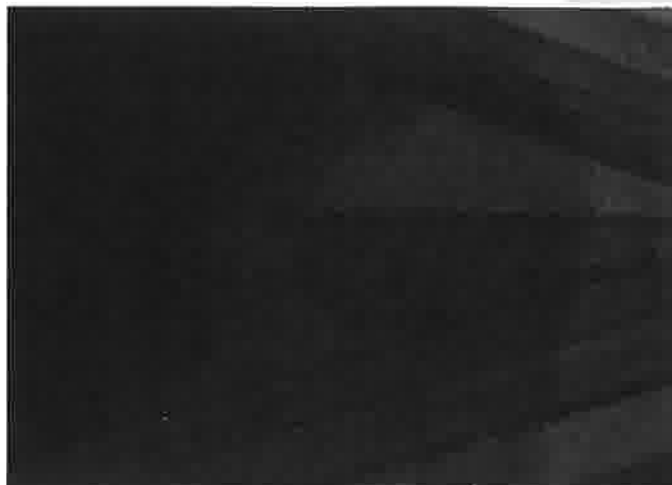
Inspection of the insulation includes identification of the predominant type of insulation in use in accessible areas, including in attics and foundation areas, and identification of areas where insulation is absent from conditioned surfaces. Insulation resistance values are approximate, and may not be accurate. Insulation values in concealed areas cannot be visually determined.

General Insulation Comments

Attic

Maintenance Suggestions

There was no insulation on the attic access cover or at the three skylights. Insulation should be installed for increased thermal efficiency.



Information and Observations

The attic floor was insulated with a loose fill/blown fiber-wool type insulation with a resistance value of approximately R19 or greater. This is less than standard in current construction and should be considered for upgrade for increased efficiency.

Foundation

Information and Observations

The foundation insulation was rigid foam insulation with an approximate resistance value of R4 or greater. Insulation that covers the rim joist, foundation or other framing is not removed and may prevent complete visual evaluation.

Plumbing Systems

General Plumbing Comments

Type of Material

Information and Observations

The structure is served by a combination of galvanized and copper potable water pipes. Aged galvanized supply pipes may become clogged with mineral buildup, and are subject to deterioration that can cause leaks. The condition of galvanized supply lines cannot be fully determined without destructive investigation.

The visible waste, drain and vent pipes are ABS type material.

Shut-off Location

Information and Observations

Inspection Address: 180 Wellington Way, Reno, NV 89506
Inspection Date/Time: 3/20/2018 9:00 am

The main water shut-off valve was located at the street. There was also a water shut-off valve located in the crawlspace.

Method of Evaluation

Information and Observations

The drain system is inspected by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains. The functional flow of the drain system at the time of the inspection does not guarantee future performance. Complete drain system evaluation can be provided through drain system scopes, and are recommended, especially for older structures.

There was a storage tank, pipes, and some electrical equipment in the laundry room for the solar system. This equipment had been abandoned and if it is not to be used in the future, it should be removed.

Water Supply System

Kitchen

Conditions to be Monitored or Further Investigated

The instant hot water dispenser, at the kitchen sink, was not operative. There was no water flow and the unit was not plugged in. The reason for this was unknown. Consult with the seller for additional information.

Tubs and Showers

Components and Conditions Needing Service

The hallway bathroom tub/shower hot and cold water faucet stems and the tub/shower diverter valve stem were leaking during operation.

P



The master bath stall shower cold water faucet was leaking at the stem during operation.

P

Sprinkler System

Components and Conditions Needing Service

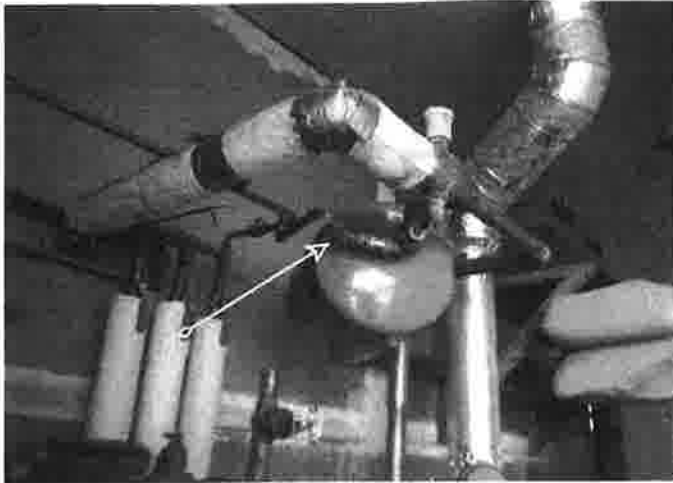
There was no vacuum breaker observed for the sprinkler system. These are standard in current installations to help prevent cross connections and possible domestic water contamination.

Copper Water Pipes

Components and Conditions Needing Service

There was a leak in the copper supply line near the expansion tank on the boiler in the garage.

M



Much of the copper supply piping, in the crawlspace for the domestic hot water and the hydronic heating system, was not insulated. All of the hot water pipes should be insulated to help improve efficiency.

Gas System

Shut-Off Location

Information and Observations

The gas main shut-off was located in the west side yard.

Water Heaters

Type

Information and Observations

The structure was served by a gas water heater.

Location

Information and Observations

The water heater is located in the laundry.

General Comments

Information and Observations

All water heaters must be equipped with a pressure/temperature relief valve and discharge pipe and safety strapping. Current installations may require devices not standard in older installations, including expansion tanks. The absence of these types of items may not be reported unless considered to be functionally significant or a safety concern, as old installations are not required to be updated to new codes. It is not possible to visually evaluate the function of circulation pumps.

The water heater was aged and beyond its original design life, but functioning at the time of the inspection. It was not possible to determine the remaining life expectancy of the water heater.

Conditions to be Monitored or Further Investigated

The large expansion tank, above the gas boiler, was supported only by the plumbing. Properly strapping this tank to wall or ceiling framing can help relieve stress on the adjacent plumbing connections which could lead to damage and leaks.

Pressure Release Valve and Discharge Pipe

Components and Conditions Needing Service

The temperature/pressure relief valve on the water heater did not have a discharge pipe. A proper drain line that extends to the exterior should be installed.

P

M

P



Gas Line and Valve

Information and Observations

There was no drip leg installed on the gas pipe which is standard in current installations. This leg is to catch moisture and sediment in the gas pipe and to help protect the gas control valve.

Safety Strapping

Components and Conditions Needing Service

The water heater was not effectively safety strapped, which is standard in current installations.

P

Electrical Systems

Inspection of the electrical system includes the identification of the type and capacity of the electrical service, type wiring in the structure and visual evaluation of the service drop, entrance conductors and cables, main disconnects, sub panels and overcurrent protection devices, service grounding, and a representative number of installed lighting fixtures, switches, and outlets, including any ground fault circuit interrupters, excluding internal inspection of panels, lighting fixtures, switches or outlets, except for those with operable covers. No load calculations are performed for determination of the adequacy of the electrical supply for the structure, nor does this inspection include identification of the composition of the structure's wiring or assess the size of breakers and their associated circuit wiring. This inspection also excludes inspection of any electrical generation systems (including wind and solar), alarm or security systems, telephone, television, entertainment, network or other communication wiring and components, timed, remote, light or motion sensing thermostatic, or humidistat controls, elevators, lifts or dumbwaiters, low voltage electrical systems or central vacuum systems.

All electrical service and repairs should be made by a licensed electrical contractor, before the close of escrow, who may well identify additional needed repairs or upgrades that may affect your evaluation of this property.

General Electrical Comments

Location and Size

Information and Observations

The electrical system was one 100 maximum amp circuit breaker service.

The main electrical service panel was located at the east side yard.

Type of Wiring

Information and Observations

The structure was served by grounded three-wire non-metallic sheathed cable.

Main Electrical Panel

General Comments

Information and Observations

Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled.

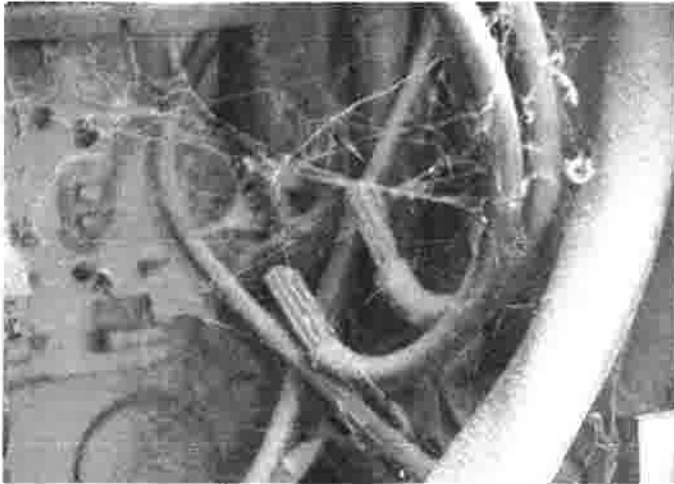
Main Panel

Information and Observations

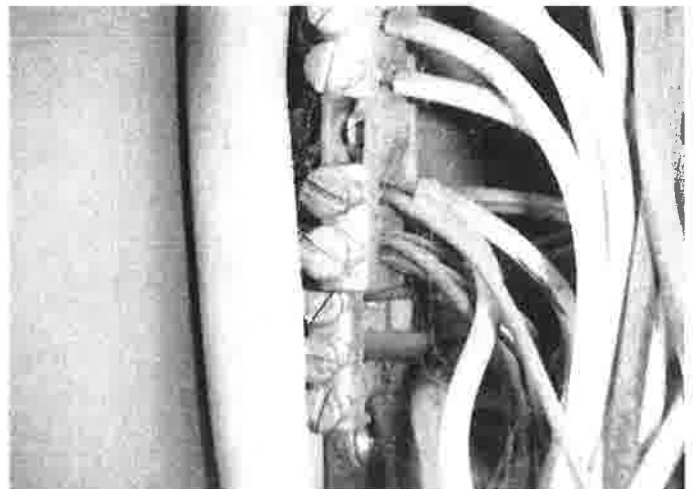
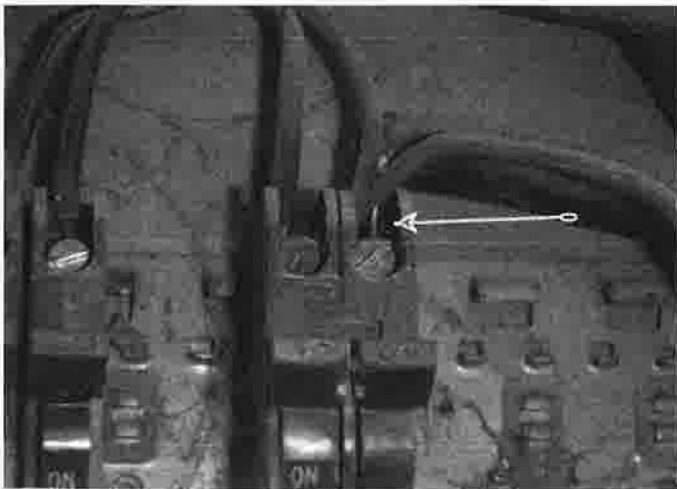
The electrical panel is Federal Pacific Electric brand, which is an older style but typical for the age of the structure. Current publications report that FPE circuit breakers may be faulty and may not trip when they are supposed to. Although no visual evidence of problems was noted, a licensed electrician would be required to fully evaluate this panel and advise you of its capabilities and limitations.

Components and Conditions Needing Service

There were open ended wires observed in the main electrical service panel. These wires should be properly terminated or they should be removed.



There was an electrical circuit breaker that had been wired incorrectly to two circuits. This condition was also observed at the neutral bus bar. This is commonly referred to as double-lugging and should be repaired by a licensed electrician.



There was an open knock-out in the bottom of the main electrical service panel box that should be properly covered.

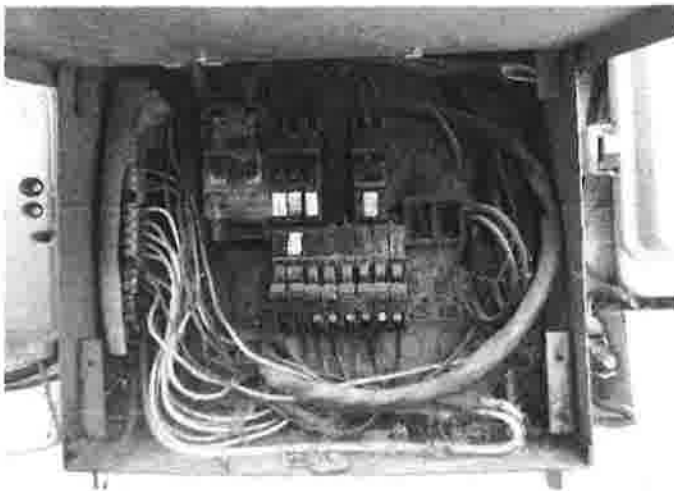


Service Panel Covers

Components and Conditions Needing Service

The interior cover panel, or dead-front, for the main electrical panel was missing, and should be replaced.

T



Exterior Electrical

Outlets

Components and Conditions Needing Service

The east exterior outlet, by the main service panel, had a damaged weather proof cover that should be replaced.

Inspection Address: 180 Wellington Way, Reno, NV 89506
Inspection Date/Time: 3/20/2018 9:00 am



T

Interior Electrical

Outlets

Components and Conditions Needing Service

The southeast bedroom south wall outlet was broken and the outlet should be replaced. The cover was also damaged and should be replaced.

Smoke Alarms

Conditions to be Monitored or Further Investigated

There were few smoke alarms and none were observed in the bedrooms. Smoke alarms should be installed in all sleeping rooms and in the adjacent hallways/living areas. They should be installed as directed by local code requirements and tested regularly.

The combustion appliance zone (CAZ), consisting of the gas fired water heater and clothes dryer, is located inside the living space. Installation of a carbon monoxide (CO) alarm is recommended.

Some of the smoke alarms were aged and these older sensors can prevent proper operation. Per typical manufacturers recommendations any alarms over 10-years old should be considered for replacement.

Kitchen

Components and Conditions Needing Service

The cord for the food waste disposer was loose. This cord should be secured to the disposer case using a proper grommet to help prevent accidental separation of the cord from the appliance.

There was an open/exposed wire splice in the cabinet above the kitchen range. All splices should be made up in junction boxes and properly covered.

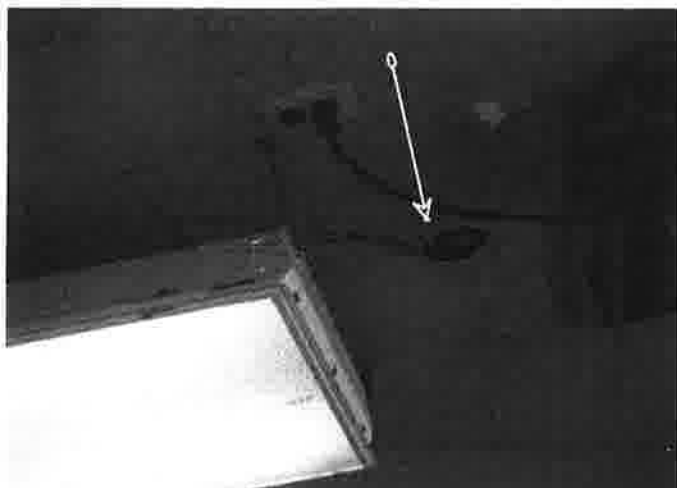
Inspection Address: 180 Wellington Way, Reno, NV 89506
Inspection Date/Time: 3/20/2018 9:00 am



Garage

Components and Conditions Needing Service

There was an open wire splice and exposed wiring on the garage ceiling. The splice should be made up within a junction box and properly covered. Any left over wiring that is exposed should be enclosed within the fixture it served or protected in conduit.



Crawlspace

Components and Conditions Needing Service

There were open ended wires in the northeast area of the rear addition crawlspace that should be properly terminated in a covered junction box or they should be removed.

T

Inspection Address:
Inspection Date/Time:

180 Wellington Way, Reno, NV 89506
3/20/2018 9:00 am



Heating Systems

Inspection of heating systems includes the identification of the type and installed location of the heating systems, operation of the systems and visual evaluation of their condition. This is a limited inspection to affirm that the systems respond to thermostats and appear to cycle normally and excludes evaluation of the capacity or adequacy of systems for the structure, the air distribution system (including the interior of the ducting, assessment of airflow at each register or the function of zoned or dampered systems or in-line duct motors) or the function of humidifiers, or electronic air filters. No carbon monoxide testing or inspection of the heat exchanger is performed. Furnaces and heaters are specialized and complex systems and should be regularly inspected and serviced by licensed contractors qualified to perform technical evaluations and tests to affirm their safe and efficient operation, as inspection by specialists may identify concerns not determined in this general inspection.

Any heating system service or repair should be made by a licensed heating and air conditioning contractor, before the close of escrow, who may identify additional needed repairs or upgrades that could affect your evaluation of this property.

Gas Fired Radiant Heat Systems

Type and Location

Information and Observations

Heat was provided by a gas fired hydronic radiant system. The boiler was located in the garage. This system had three zones.

General Comments

Information and Observations

The heating system responded to the three thermostats and all appeared to function normally.

Air Conditioning Systems

Inspection of cooling systems includes the identification of the type and installed location of the cooling systems, operation of the systems and visual evaluation of their condition. This is a limited inspection to affirm that the systems respond to thermostats and appear to cycle normally and excludes evaluation of the capacity or adequacy of systems for the structure, the air distribution system (including the interior of the ducting, assessment of airflow at each register or the function of zoned or dampered systems or in-line duct motors) or the function of humidifiers, or electronic air filters. No inspection of window or other non-permanent air conditioners or swamp coolers is performed. Air conditioners are specialized and complex systems and should

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be regularly inspected and serviced by licensed contractors qualified to perform technical evaluations and tests to affirm their safe and efficient operation, as inspection by specialists may identify concerns not determined in this general inspection.

Any cooling system service or repair should be made by a licensed heating and air conditioning contractor, before the close of escrow, who may identify additional needed repairs or upgrades that could affect your evaluation of this property.

Air Conditioning Systems

General Comments

Information and Observations

This residence did not have a central air conditioning system installed.

Swamp Coolers

Type and Location

Information and Observations

Cooling was provided by a swamp cooler located on the rear area of the roof.

Method of Evaluation

Information and Observations

Swamp coolers were not operated or evaluated for this inspection. This cooler was covered and presumed to have been winterized.



Exterior Features and Components

Inspection of the exterior of a structure includes the identification of the exterior wall covering and visual evaluation of accessible common structural components, including windows, flashing and trim, steps, stairs, railings and balconies, doors, windows, lights, and outlets. No inspection of screening, shutters or awnings is performed. Detached structures, including any system or component that is not permanently installed or attached to the main structure, such as storage sheds and stables, are not inspected.

Exterior Walls

Hardboard Siding

Components and Conditions Needing Service

The hardboard type siding, at the south gable area, was unpainted and moisture affected. This siding should be refinished to help prevent further damage. This gable was not fully visible due to snow conditions and additional faults may exist.



Metal Siding

Information and Observations

The exterior walls were clad with metal lap siding.

Components and Conditions Needing Service

There were several areas around the perimeter, at the top edges of the siding, where there were missing sections of the siding. Multiple areas of the perimeter siding needed to be prepped and painted.



Windows

Window Type

Information and Observations

The windows are primarily dual glazed metal framed units.

Method of Evaluation

Information and Observations

Accessible windows are operated to gain an overall impression of their condition. Window coverings and personal belongings can prevent access to windows and are not moved for this inspection. Dual glazed windows are visually assessed for compromised thermal seals, which can cause fogging between window panes, but as changing weather and temperature can cause these conditions to disappear, it is not possible to guarantee that all broken thermal seals will be located.

General Comments

Information and Observations

Some of the window sills show evidence of exposure to excess moisture, some with minor moisture damage, apparently the result of condensed moisture from the windows.

Components and Conditions Needing Service

There were windows in the kitchen, the southeast area of the dining room (fixed pane), the southeast bedroom, the northwest bedroom, and the master bathroom with broken thermal seals. Although all of the windows were carefully evaluated, condensed moisture between glass panes can be more visible as light and weather conditions change. This condition can be difficult to assess when the windows are dirty. If the windows are serviced, it is recommended that the window contractor evaluate all of the windows to locate any other broken thermal seals.

There were windows with broken panes at the south side of the laundry room and the garage. The damaged glass panes should be replaced.

Exterior Features

Flatwork

Information and Observations

There were chips and cracks in the concrete flatwork which would not necessarily need to be serviced. Most areas of the flatwork were snow covered at the time of inspection and could not be evaluated.

Decks

Maintenance Suggestions

There was earth to wood contact observed around the parts of the rear deck, which can permit moisture penetration and allow insect and rot damage. Wherever possible, the dirt should be moved away from areas where it contacts wood and deck supports should be placed on concrete pier blocks.

Information and Observations

Most areas of the rear exterior deck were snow covered at the time of inspection and could not be fully evaluated. There was no access provided to fully inspect the underside of the rear deck.

Sliding Glass Doors

Maintenance Suggestions

The screen for the rear sliding glass door was missing or had been removed.

Components and Conditions Needing Service

A pane in the rear sliding glass door appeared to have a broken thermal seal. This glass assembly may require replacement.

Fascia and Trim

Maintenance Suggestions

Some of the wood eave fascia and wood trim around the house was weathered, exposed, and unsealed and needed typical maintenance type service to protect and extend the life of these materials.

Soffits and Eaves

Components and Conditions Needing Service

There were several areas of water stained roof sheeting at the perimeter eave. The eaves should be kept well maintained and painted to help prevent damage. There were gaps at the southwest soffit adjacent to the family room where it appeared that birds may have penetrated into the attic space. These gaps should be properly covered to help prevent bird intrusions.

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Fireplaces and Stoves

Inspection of fireplaces and chimneys includes the identification of the types of fireplaces and chimneys in a structure and visual evaluation of their condition. This is a limited inspection, and excludes evaluation of the interior of flues, seals, gaskets, fire screens or doors, mantels, hearths and fireplace surrounds. No evaluation for proper draft or adequacy of combustion air supply is performed. Fireplaces are specialized systems, and full evaluation by a licensed specialist is recommended for all fireplaces, especially solid fuel burning fireplaces, to ensure their safe and efficient operation.

Wood Burning Stoves and Inserts

Type of Fireplace

Information and Observations

There was a free standing wood burning stove in the family room.

Chimney and Flue

Components and Conditions Needing Service

The top cap for the wood stove flue was missing and a new cap should be installed. This condition may have caused or contributed to the water staining and rust observed on the flue at the interior of the family room.



Roofing Components

Inspection of the roof cover includes the identification of the top roof cover layer and visual evaluation of its condition. Generally, the roof cover underlayment and flashings are the most important components of the roof cover as the provides the actual weatherproofing of most roof types, however, these features are largely hidden and cannot be visually assessed without destructive investigation. Although visible and obvious roof cover faults will be noted, it is not possible to detect roof leaks except while they are occurring. Even water stains on ceilings or on roof framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Accordingly, this inspection in no way constitutes a guarantee against faults or leaks. For any situation where such assurance is needed, a licensed roofing contractor should be consulted to perform a complete roof certification, which may involve a water or flood test. Estimation of the age of a roof cover or its expected lifespan is outside the scope of this inspection.

All roof service and repairs should be made by a licensed roofing contractor, before the close of escrow, who may well identify additional needed repairs or upgrades that may affect your evaluation of this property.

Roof Cover

Method of Evaluation

Information and Observations

Per the seller, the roof was newer having been installed in 2016. Consult with the seller for additional information and for any documentation regarding the roof replacement.

Conditions to be Monitored or Further Investigated

Snow conditions prevented review of the roof cover, and it was evaluated from within the attic and from available vantage points on the ground. The roof should be professionally assessed when fully accessible.



Composition Shingle Roof Cover

Description

Information and Observations

This structure had an asphalt or composition shingle roof cover. Definitive assessment of the number of roofing layers present is not possible in this visual inspection.

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Structural Systems

Inspection of the structural systems includes the identification of the construction type of foundation, floor, wall and roof components and visual evaluation of accessible areas of the structure, including attics, crawlspaces and basements. No engineering or design evaluation of the structure is performed, nor does this inspection assess the strength or adequacy of any structural system or component.

Wall Structures

Construction Type

Information and Observations

The walls were conventionally framed with wooden studs.

Roof and Attics

Construction Type

Information and Observations

The roof structure consisted of a prefabricated truss system with plywood sheathing.

Method of Evaluation

Information and Observations

Loose fill insulation, framing obstructions, and limited head height restricted access to the attic and most of the attic areas were not visible or fully inspected. This attic was inspected from the access point only.



Attic Comments

Information and Observations

In accordance with state and industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic to the best of our abilities from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

Roof Framing

Information and Observations

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The roof appeared to be sheathed with plywood approximately 3/8" thick. This was a standard of construction at the time that this house was built.

Conditions to be Monitored or Further Investigated

There were moisture stains on the living room skylight within the attic and in the living room which imply that the roof had leaked at this area. It was not possible to determine whether these were from current leaks and all stained areas appeared dry at the time of this inspection. It is recommended that the seller be consulted to learn of any known roof problems and that a licensed roofing contractor evaluate and service the roof as needed.

Raised Foundations

Construction Type

Information and Observations

This building had a raised foundation. Inspection of the foundation includes entering all accessible areas and identification of structural deformation or damage. Minor cracks in foundation walls are common, and cracks or deviations from plumb or level are only reported if they appear to need further evaluation. Small foundation cracks should generally be sealed against moisture penetration and monitored for changes. Any significant changes should be further evaluated by qualified contractors or engineers.

The floor structure consists of posts, piers, girders, and joists sheathed with plywood.

Method of Evaluation

Information and Observations

We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

Crawlspace

Components and Conditions Needing Service

It is recommended that all cellulose and other debris be removed from the crawlspace.



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Debris - Continued



Floor Framing

Information and Observations

There were stains from previous excess moisture at the sub-floor beneath the bathrooms. No severe wood damage was observed however not all areas were visible for inspection and additional faults may exist.

Components and Conditions Needing Service

There were soils are in direct contact with a wood support post in the south/center area of the crawlspace.

Recommend that soils be moved away from any posts that contact the dirt or that the posts be reset above the soils on concrete piers.

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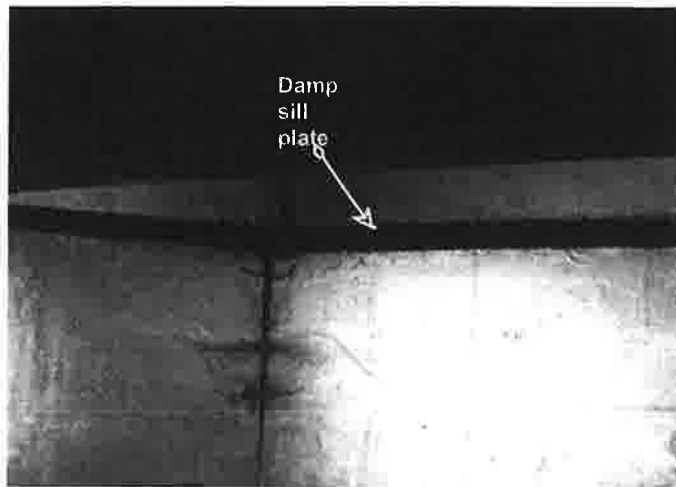


There was fungi growth on the subfloor at the front/northwest area of the crawlspace where damp soils and marginal ventilation had allowed for a very humid condition. The perimeter rim joist was insulated with rigid foam and while the small areas of exposed rim joist appeared dry some areas of the north and northwest wood sill plate, on top of the foundation wall, were damp. The crawlspace should have a moisture barrier installed and the infected wood surfaces should be treated using a registered fungicide applied by a state licensed pest management professional. Details of any wood destroying pest treatment should be recorded on form DA-PD 2 Wood Destroying Pests Inspection Report as required by the Nevada Department of Agriculture.

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Common Areas

Inspection of the common areas includes the visual evaluation of the condition of accessible areas of walls, floors, installed cabinets and closets, and includes the testing of a representative number of accessible windows and doors.

Kitchen

General Kitchen Comments

Information and Observations

Inspection of kitchens includes operation and assessment of all plumbing fixtures. Ovens, stoves, range hoods, disposals and dishwashers are operated and assessed to determine that they respond to controls, but are not evaluated for performance. Microwave ovens are not fully operated or evaluated. We do not inspect the following items: free-standing or portable appliances, refrigerators, timers, clocks, thermostats, the self-cleaning capacity of ovens, built-in toasters, coffee-makers, can-openers, blenders, barbecues, grills, rotisseries, instant hot-water dispensers, steam ovens, water-purifiers, water softeners or filters.

Walls and floors around plumbing fixtures are subject to moisture exposure, and although significant visible moisture damage will be reported, covered floor and wall surfaces can prevent complete evaluation. Moisture

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damage may exist areas that are not visible and therefore not within the scope of this inspection.

Garbage Disposals

Maintenance Suggestions

The gasket or splash guard at the opening for the disposal was damaged.

Stoves and Ranges

Components and Conditions Needing Service

There was no anti-tip bracket installed on the kitchen range. The use of this bracket is for safety - to help prevent the range from tipping with the oven door open.

Cabinets

Maintenance Suggestions

Some of the cabinet doors were loose and they should be better secured.

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Garages

General Garage Comments

Information and Observations

The presence of numerous personal items and vehicles in the garage prevented a complete inspection of the slab floor and walls and other components.



Doors

Components and Conditions Needing Service

The house entry door needed to be trimmed or adjusted to open and close easily. The door was dragging on the wood threshold.

The garage door to the interior was not effectively weather sealed. The weather seals should be added to or replaced.

Walls and Ceiling

Conditions to be Monitored or Further Investigated

There were moisture stains and discoloration on the sheetrock wall surfaces around the house entry door and the laundry room. The exact cause of this condition was unknown. It was not possible to determine if there were current leaks/moisture conditions and all stained areas appeared dry at the time of this inspection.

Consult with the seller for additional information and have these wall areas serviced as needed.

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There were moisture stains on the ceiling of the garage around the boiler flue pipe penetration that appeared to be from a past or present roof leak. It was not possible to determine if the roof was currently leaking and all stained areas appeared dry at the time of this inspection. Consult with the seller for additional information and have the roof serviced as needed.

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Firewall

Components and Conditions Needing Service

The door to the interior from the garage should be self closing to maintain the fire separation boundary between the garage and living areas. The spring hinges should be adjusted or replaced.

Conditions to be Monitored or Further Investigated

Some of the wall surfaces around the laundry room were covered with wood and/or concealed by personal property. It was unknown if there were breaches/damage to the fire separation boundary between the garage and the laundry area.

Garage Door and Hardware

Conditions to be Monitored or Further Investigated

The door springs did not have any spring retainers which are recommended to help prevent parts from being projected around the garage should a spring break. Consult with a licensed garage door specialist for further guidance.

Automatic Opener

Components and Conditions Needing Service

For safer operation, it is recommended that the door opener button be relocated to an area of the garage where the person operating the button can observe the door during operation.

Shelving

Information and Observations

The garage shelving appeared to be the result of amateur installation and was not evaluated for soundness. It is recommended that the shelves be used with care and that storage weight be limited.

Laundry

General Laundry Area Comments

Information and Observations

In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes, or the dryer outlet. It is not possible to completely assess the condition of the supply and drain lines for washing machines.

The laundry room was full of personal items and the appliances at the time of the inspection and not all areas were accessible for assessment.

Doors

Components and Conditions Needing Service

The laundry room bi-fold doors were dragging on the living room carpeting and the doors should be adjusted.

Floor

Components and Conditions Needing Service

There were open seams and some loose vinyl floor covering observed in the laundry room.

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Hallways

Walls and Ceiling

Components and Conditions Needing Service

There were holes in the ceiling of the hallway northwest closet where it appeared that the furnace had been previously located. These openings should be repaired to help limit conditioned air losses from the interior and to help prevent attic insulation from falling into the interior.



Bedrooms

Inspection of the bedrooms includes the visual evaluation of the condition of accessible areas of walls, floors, installed cabinets and closets, and includes the testing of a representative number of accessible windows and doors.

North-West Bedroom

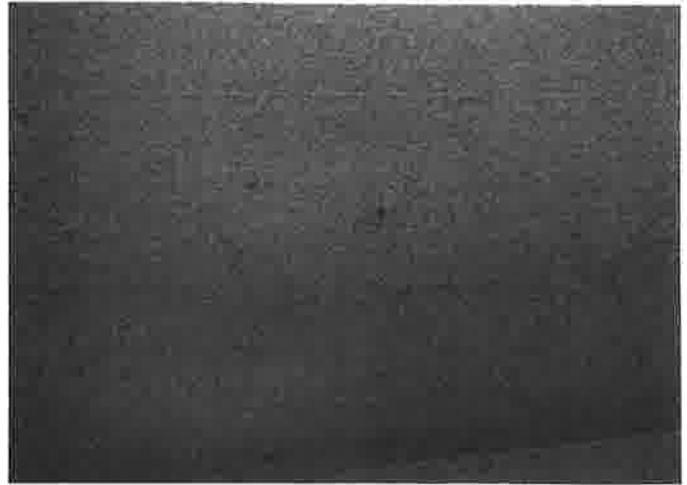
Walls & Ceiling

Conditions to be Monitored or Further Investigated

There were moisture stains/surface damage on the ceiling that appeared to be the result of a prior roof leak. It was not determined to what extent repairs had been made or the cause or extent of the original damage. The ceiling surfaces had since been painted. The condition should be further investigated and/or explained by the seller.

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Bathrooms

Inspection of the bathrooms includes the visual evaluation of the condition of accessible areas of walls, floors, installed cabinets and closets, and includes operation of all plumbing fixtures and the testing of a representative number of accessible windows and doors. Bathrooms walls and floors are subject to more moisture than many areas of the structure, and although significant visible moisture damage will be reported, floor coverings prevent evaluation of the surface of the subfloor, and tub and shower enclosures cover the wall surfaces and structure, preventing effective evaluation of these areas. Moisture damage may exist areas that are not visible and therefore not within the scope of this inspection. Steam baths, saunas, and jetted baths are not operated or inspected.

Master Bathroom Floor

Maintenance Suggestions

Open floor seams at the edge of the stall shower should be sealed to help prevent moisture penetration.

Information and Observations

The surface of the floor in the bathroom was irregular, which may be due to exposure to excess moisture. It is not possible to visually determine the condition of the subfloor surface and no severe damage was observed from the crawlspace.

Stall Shower

Maintenance Suggestions

Open seams at the pan edge of the shower enclosure should be sealed to help prevent moisture penetration and possible damage.

Components and Conditions Needing Service

The stall shower door should be adjusted or repaired to better close, latch, and properly to seal against moisture escape.



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SUMMARY REPORT

Client: Katherine Arriaga
Inspection Address: 180 Wellington Way, Reno, NV 89506
Inspection Date: 3/20/2018 Start: 9:00 am
Inspected by: Jonathan Cartwright

This Summary Report is provided as a cursory preview of issues identified in the full report as needing attention or service. It is not complete or comprehensive, and should not be used as a substitute for reading the entire report, which contains additional important information. The service recommendations made in this summary and throughout the report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend upgrades that could affect your evaluation of the property.

This report is the exclusive property of Grush Inspections, LLC and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

General Property Conditions:

There were apparent remodels or revisions of the structure that may have required building permits, however review of the permit status or code compliance of these projects is outside the scope of this inspection. Consult the local building department for further information on permit and building code progress inspections.

This residence was occupied at the time of inspection and personal items throughout the interior prevented complete access for inspection, and additional faults may exist in areas that could not be effectively inspected.

Some ceiling finishes in this building may be asbestos containing. Identification of asbestos is outside the scope of our inspection and requires a qualified specialist.

This building contained an electronic security system that is outside the scope of this inspection and should be inspected and maintained by a qualified specialist.

Ventilation Systems

General Ventilation Comments

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Foundation Area Ventilation

Components and Conditions Needing Service

- It is recommended that all foundation vents be unobstructed and opened to aid in keeping the crawlspace dry.

General Vapor Barrier Comments

Crawlspace Vapor Barriers

Components and Conditions Needing Service

- Recommend that a visqueen moisture barrier be placed to completely cover all soils to help control moisture in the crawlspace area. Any cellulose or other debris should be removed from the crawlspace before placing the moisture barrier.



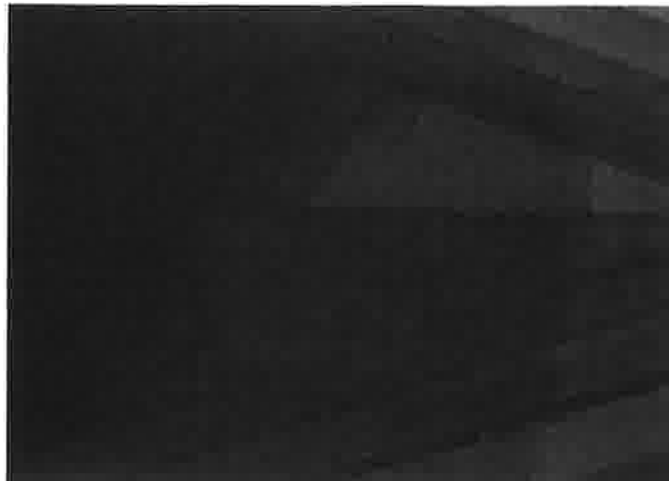
Insulation Systems

General Insulation Comments

Attic

Maintenance Suggestions

- There was no insulation on the attic access cover or at the three skylights. Insulation should be installed for increased thermal efficiency.



Plumbing Systems

Water Supply System

Kitchen

Conditions to be Monitored or Further Investigated

- The instant hot water dispenser, at the kitchen sink, was not operative. There was no water flow and the unit was not plugged in. The reason for this was unknown. Consult with the seller for additional information.

Tubs and Showers

Components and Conditions Needing Service

- The hallway bathroom tub/shower hot and cold water faucet stems and the tub/shower diverter valve stem were leaking during operation.



- The master bath stall shower cold water faucet was leaking at the stem during operation.

Sprinkler System

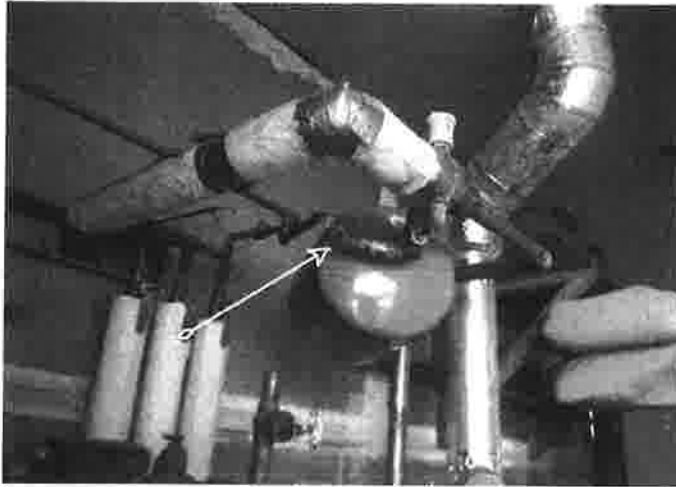
Components and Conditions Needing Service

- There was no vacuum breaker observed for the sprinkler system. These are standard in current installations to help prevent cross connections and possible domestic water contamination.

Copper Water Pipes

Components and Conditions Needing Service

- There was a leak in the copper supply line near the expansion tank on the boiler in the garage.



- Much of the copper supply piping, in the crawlspace for the domestic hot water and the hydronic heating system, was not insulated. All of the hot water pipes should be insulated to help improve efficiency.

Water Heaters

General Comments

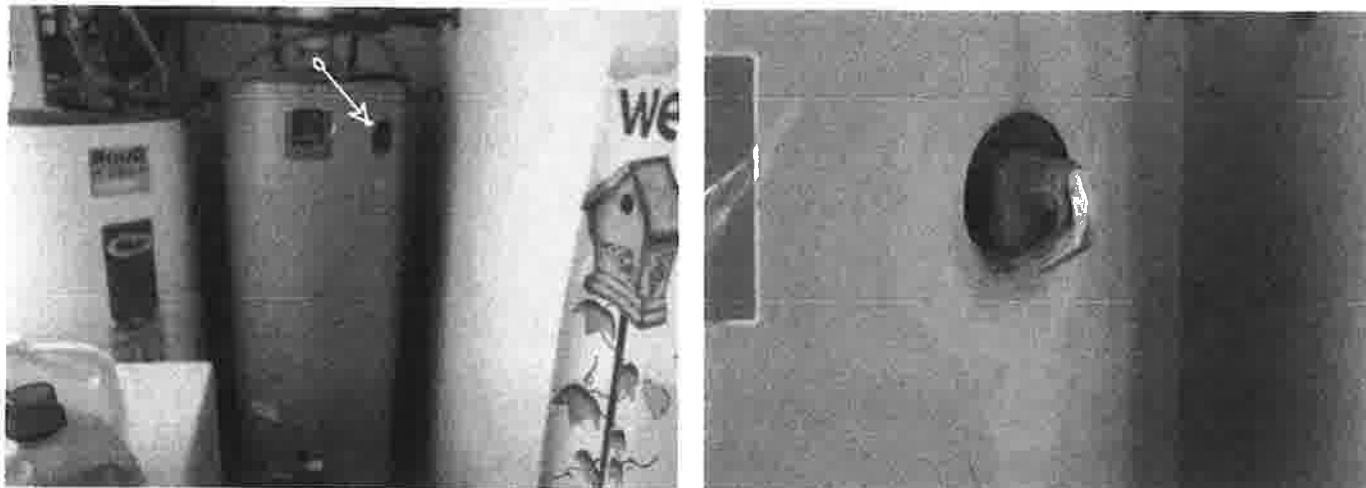
Conditions to be Monitored or Further Investigated

- The large expansion tank, above the gas boiler, was supported only by the plumbing. Properly strapping this tank to wall or ceiling framing can help relieve stress on the adjacent plumbing connections which could lead to damage and leaks.

Pressure Release Valve and Discharge Pipe

Components and Conditions Needing Service

- The temperature/pressure relief valve on the water heater did not have a discharge pipe. A proper drain line that extends to the exterior should be installed.



Safety Strapping

Components and Conditions Needing Service

- The water heater was not effectively safety strapped, which is standard in current installations.

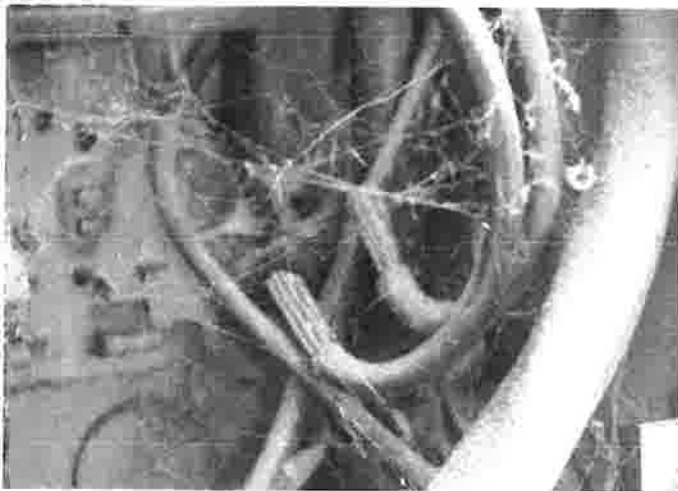
Electrical Systems

Main Electrical Panel

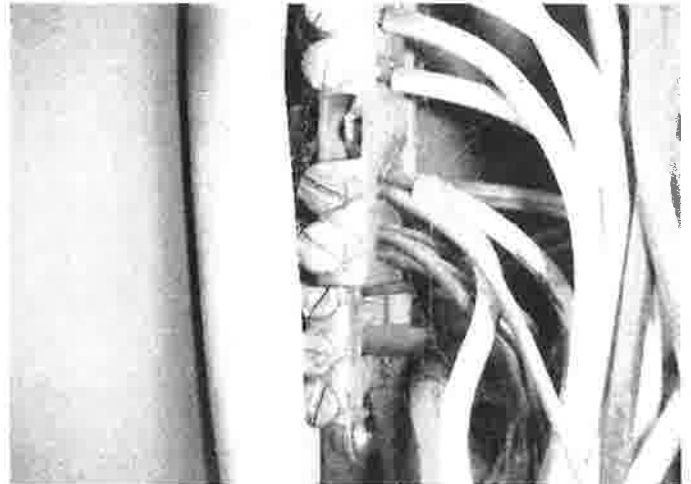
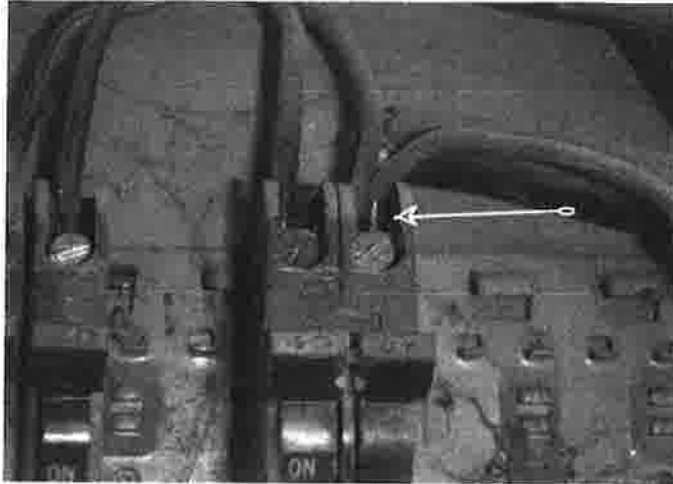
Main Panel

Components and Conditions Needing Service

- There were open ended wires observed in the main electrical service panel. These wires should be properly terminated or they should be removed.



- There was an electrical circuit breaker that had been wired incorrectly to two circuits. This condition was also observed at the neutral bus bar. This is commonly referred to as double-lugging and should be repaired by a licensed electrician.



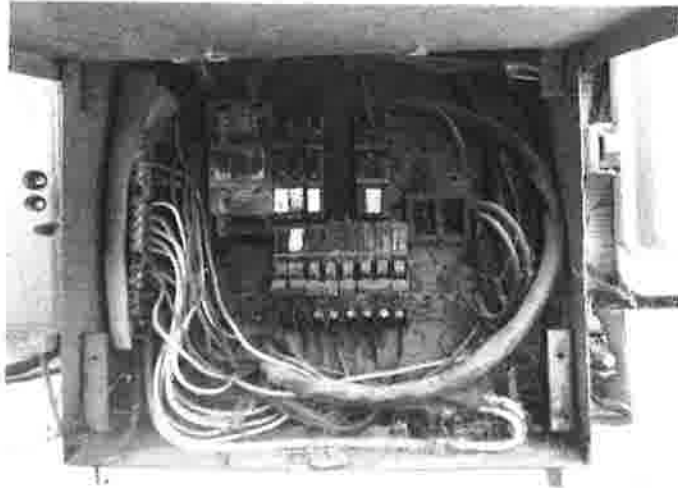
- There was an open knock-out in the bottom of the main electrical service panel box that should be properly covered.



Service Panel Covers

Components and Conditions Needing Service

- The interior cover panel, or dead-front, for the main electrical panel was missing, and should be replaced.



Exterior Electrical

Outlets

Components and Conditions Needing Service

- The east exterior outlet, by the main service panel, had a damaged weather proof cover that should be replaced.



Interior Electrical

Outlets

Components and Conditions Needing Service

- The southeast bedroom south wall outlet was broken and the outlet should be replaced. The cover was also damaged and should be replaced.

Smoke Alarms

Conditions to be Monitored or Further Investigated

- There were few smoke alarms and none were observed in the bedrooms. Smoke alarms should be installed in all sleeping rooms and in the adjacent hallways/living areas. They should be installed as directed by local code requirements and tested regularly.
 - The combustion appliance zone (CAZ), consisting of the gas fired water heater and clothes dryer, is located
-

inside the living space. Installation of a carbon monoxide (CO) alarm is recommended.

- Some of the smoke alarms were aged and these older sensors can prevent proper operation. Per typical manufacturers recommendations any alarms over 10-years old should be considered for replacement.

Kitchen

Components and Conditions Needing Service

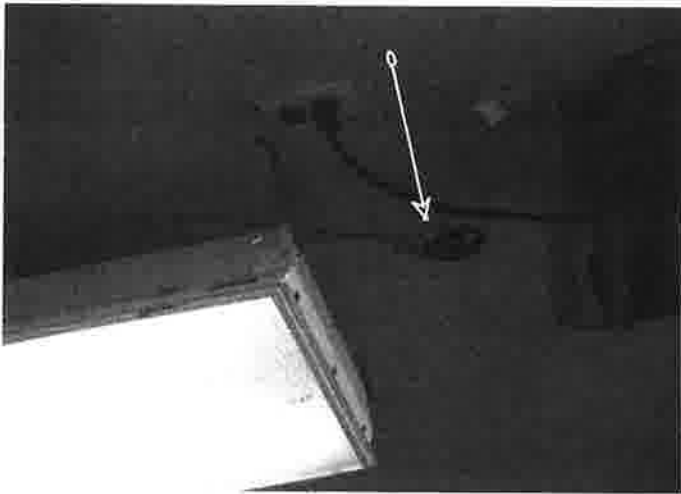
- The cord for the food waste disposer was loose. This cord should be secured to the disposer case using a proper grommet to help prevent accidental separation of the cord from the appliance.
- There was an open/exposed wire splice in the cabinet above the kitchen range. All splices should be made up in junction boxes and properly covered.



Garage

Components and Conditions Needing Service

- There was an open wire splice and exposed wiring on the garage ceiling. The splice should be made up within a junction box and properly covered. Any left over wiring that is exposed should be enclosed within the fixture it served or protected in conduit.



Crawlspace

Components and Conditions Needing Service

- There were open ended wires in the northeast area of the rear addition crawlspace that should be properly terminated in a covered junction box or they should be removed.



Exterior Features and Components

Exterior Walls

Hardboard Siding

Components and Conditions Needing Service

- The hardboard type siding, at the south gable area, was unpainted and moisture affected. This siding should be refinished to help prevent further damage. This gable was not fully visible due to snow conditions and additional faults may exist.



Metal Siding

Components and Conditions Needing Service

- There were several areas around the perimeter, at the top edges of the siding, where there were missing sections of the siding. Multiple areas of the perimeter siding needed to be prepped and painted.



Windows

General Comments

Components and Conditions Needing Service

- There were windows in the kitchen, the southeast area of the dining room (fixed pane), the southeast bedroom, the northwest bedroom, and the master bathroom with broken thermal seals. Although all of the windows were carefully evaluated, condensed moisture between glass panes can be more visible as light and weather conditions change. This condition can be difficult to assess when the windows are dirty. If the windows are serviced, it is recommended that the window contractor evaluate all of the windows to locate any other broken thermal seals.
- There were windows with broken panes at the south side of the laundry room and the garage. The damaged glass panes should be replaced.

Exterior Features

Decks

Maintenance Suggestions

- There was earth to wood contact observed around the parts of the rear deck, which can permit moisture penetration and allow insect and rot damage. Wherever possible, the dirt should be moved away from areas where it contacts wood and deck supports should be placed on concrete pier blocks.

Sliding Glass Doors

Maintenance Suggestions

- The screen for the rear sliding glass door was missing or had been removed.

Components and Conditions Needing Service

- A pane in the rear sliding glass door appeared to have a broken thermal seal. This glass assembly may require replacement.

Fascia and Trim

Maintenance Suggestions

- Some of the wood eave fascia and wood trim around the house was weathered, exposed, and unsealed and needed typical maintenance type service to protect and extend the life of these materials.

Soffits and Eaves

Components and Conditions Needing Service

- There were several areas of water stained roof sheeting at the perimeter eave. The eaves should be kept well maintained and painted to help prevent damage. There were gaps at the southwest soffit adjacent to the family room where it appeared that birds may have penetrated into the attic space. These gaps should be properly covered to help prevent bird intrusions.



Fireplaces and Stoves

Wood Burning Stoves and Inserts

Chimney and Flue

Components and Conditions Needing Service

- The top cap for the wood stove flue was missing and a new cap should be installed. This condition may have caused or contributed to the water staining and rust observed on the flue at the interior of the family room.



Roofing Components

Roof Cover

Method of Evaluation

Conditions to be Monitored or Further Investigated

- Snow conditions prevented review of the roof cover, and it was evaluated from within the attic and from available vantage points on the ground. The roof should be professionally assessed when fully accessible.



Structural Systems

Roof and Attics

Roof Framing

Conditions to be Monitored or Further Investigated

- There were moisture stains on the living room skylight within the attic and in the living room which imply that the roof had leaked at this area. It was not possible to determine whether these were from current leaks and all stained areas appeared dry at the time of this inspection. It is recommended that the seller be consulted to learn of any known roof problems and that a licensed roofing contractor evaluate and service the roof as needed.

Raised Foundations

Crawlspace

Components and Conditions Needing Service

- It is recommended that all cellulose and other debris be removed from the crawlspace.

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Floor Framing

Components and Conditions Needing Service

- There were soils are in direct contact with a wood support post in the south/center area of the crawlspace. Recommend that soils be moved away from any posts that contact the dirt or that the posts be reset above the soils on concrete piers.

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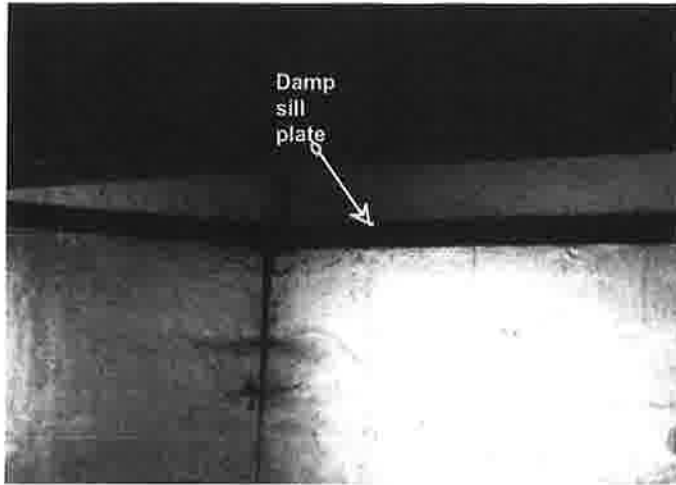
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- There was fungi growth on the subfloor at the front/northwest area of the crawlspace where damp soils and marginal ventilation had allowed for a very humid condition. The perimeter rim joist was insulated with rigid foam and while the small areas of exposed rim joist appeared dry some areas of the north and northwest wood sill plate, on top of the foundation wall, were damp. The crawlspace should have a moisture barrier installed and the infected wood surfaces should be treated using a registered fungicide applied by a state licensed pest management professional. Details of any wood destroying pest treatment should be recorded on form DA-PD 2 Wood Destroying Pests Inspection Report as required by the Nevada Department of Agriculture.



Fungi - *Continued*



Common Areas

Kitchen

Garbage Disposals

Maintenance Suggestions

- The gasket or splash guard at the opening for the disposal was damaged.

Stoves and Ranges

Components and Conditions Needing Service

- There was no anti-tip bracket installed on the kitchen range. The use of this bracket is for safety - to help prevent the range from tipping with the oven door open.

Cabinets

Maintenance Suggestions

- Some of the cabinet doors were loose and they should be better secured.

Garages

Doors

Components and Conditions Needing Service

- The house entry door needed to be trimmed or adjusted to open and close easily. The door was dragging on the wood threshold.
- The garage door to the interior was not effectively weather sealed. The weather seals should be added to or replaced.

Walls and Ceiling

Conditions to be Monitored or Further Investigated

- There were moisture stains and discoloration on the sheetrock wall surfaces around the house entry door and the laundry room. The exact cause of this condition was unknown. It was not possible to determine if there were current leaks/moisture conditions and all stained areas appeared dry at the time of this inspection. Consult with the seller for additional information and have these wall areas serviced as needed.

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- There were moisture stains on the ceiling of the garage around the boiler flue pipe penetration that appeared to be from a past or present roof leak. It was not possible to determine if the roof was currently leaking and all stained areas appeared dry at the time of this inspection. Consult with the seller for additional information and have the roof serviced as needed.



Firewall

Components and Conditions Needing Service

- The door to the interior from the garage should be self closing to maintain the fire separation boundary between the garage and living areas. The spring hinges should be adjusted or replaced.

Conditions to be Monitored or Further Investigated

- Some of the wall surfaces around the laundry room were covered with wood and/or concealed by personal property. It was unknown if there were breaches/damage to the fire separation boundary between the garage and the laundry area.

Garage Door and Hardware

Conditions to be Monitored or Further Investigated

- The door springs did not have any spring retainers which are recommended to help prevent parts from being projected around the garage should a spring break. Consult with a licensed garage door specialist for further guidance.

Automatic Opener

Components and Conditions Needing Service

- For safer operation, it is recommended that the door opener button be relocated to an area of the garage where the person operating the button can observe the door during operation.

Laundry

Doors

Components and Conditions Needing Service

- The laundry room bi-fold doors were dragging on the living room carpeting and the doors should be adjusted.

Floor

Components and Conditions Needing Service

- There were open seams and some loose vinyl floor covering observed in the laundry room.

Hallways

Walls and Ceiling

Components and Conditions Needing Service

- There were holes in the ceiling of the hallway northwest closet where it appeared that the furnace had been previously located. These openings should be repaired to help limit conditioned air losses from the interior and to help prevent attic insulation from falling into the interior.



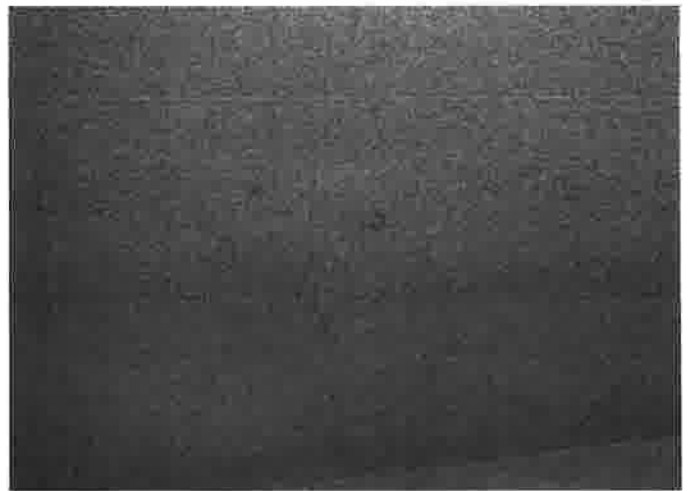
Bedrooms

North-West Bedroom

Walls & Ceiling

Conditions to be Monitored or Further Investigated

- There were moisture stains/surface damage on the ceiling that appeared to be the result of a prior roof leak. It was not determined to what extent repairs had been made or the cause or extent of the original damage. The ceiling surfaces had since been painted. The condition should be further investigated and/or explained by the seller.



Bathrooms

Master Bathroom

Floor

Maintenance Suggestions

- Open floor seams at the edge of the stall shower should be sealed to help prevent moisture penetration.

Stall Shower

Maintenance Suggestions

- Open seams at the pan edge of the shower enclosure should be sealed to help prevent moisture penetration and possible damage.

Components and Conditions Needing Service

- The stall shower door should be adjusted or repaired to better close, latch, and properly to seal against moisture escape.

Hallway Bathroom

Floor

Maintenance Suggestions

- Open floor seams at the edge of the tub/shower should be sealed to help prevent moisture penetration.

Tub-Shower

Components and Conditions Needing Service

- There were loose surround panels in the tub/shower area. Some of the hardboard type panels were surface damaged. This area should be evaluated for repair and to determine if moisture damage had resulted behind the surround.



Site of Structure

Exterior

Grading

Conditions to be Monitored or Further Investigated

- Some areas of the property were flat or not effectively graded away from the structure. Areas around the structure and in the crawlspace should be monitored. This condition was most evident in some perimeter flowerbed areas. At the time of this inspection there were no signs of severe moisture intrusion however there were moisture stains on the perimeter footings and damp soils at the north and east areas of the crawlspace. Grading or other measures should be assessed by a qualified specialist if moisture is persistently present.

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Fences and Barriers

Maintenance Suggestions

- The east side wood fence and gate were damaged and in need of repair.